

Address:

Grant: URP18 Home 10

Preparer: Carlis P. Sweat

<b>COUNTY OF MOORE PERMITTING REQUIREMENTS</b>	Visit the Moore County Planning Department at 1048 Carriage Oaks Dr., Carthage NC 28327 to obtain permits for the work performed on this home. The following permits are required: -Building-Insulation-Electrical-Plumbing- Please contact the County of Moore Permitting office (910-947-2221) directly for permits & permit costs.	<b>Not a Bid Item</b>
<b>LEAD BASE PAINT</b>	This is a pre-1978 built home. Safe Work Practices (SWP) and Renovate, Repair, and Paint (RR&P) techniques must be used when performing work on this home.	<b>Not a Bid Item</b>
<b>REQUIREMENTS FOR ALL WORK WRITEUPS</b>	<ul style="list-style-type: none"><li>* Work on any item specified in this write-up is to be performed to code and will be inspected &amp; approved as such. This is to apply in all instances and regardless of whether the specification states to perform work "to code." When a contractor or subcontractors are uncertain as to code requirements or where it appears the specification contradicts code the Community Development Staff <u>shall</u> be contacted before work is performed.</li><li>* All materials used in connection with this Work Write-Up are to be new, of first quality and without defects - unless stated otherwise in the Work Write-Up or pre-approved by Community Development Staff.</li><li>* Comparable substitutes for items specified in this Work Write-Up may be used provided the homeowner, contractor, and Community Development Staff are in agreement and this agreement is reduced to writing and signed by all three parties.</li><li>* Any changes in the Work Write-Up shall be pre-approved by the homeowner, contractor, and Community Development Staff and once all parties are in agreement then this agreement shall be reduced to writing and signed by all three parties.</li><li>* Contractor is to allow the homeowner a minimum of three choices of color or style for all material selections specified to be replaced in the Work Write-Up.</li><li>* Warranties for work performed and all material items installed on a home (e.g. roofing, vinyl siding, heat pump, appliances, termite inspection, etc.) will be provided to Community Development Staff prior to final payment being made for work performed under this contract.</li><li>* At the preconstruction meeting, Contractors will be provided with a Release of Liens that will need to be signed by all subcontractors prior to final payment is made for work performed under this contract.</li><li>* Contractors and their Subcontractors shall schedule working hours between 8:00am and 6:00pm Monday through Friday. Requests to work on weekends and before or after these hours must be approved by the homeowner. The Contractor is responsible for informing Community Development Staff of such arrangements with the homeowner within 24 hours of said arrangements being made.</li><li>* The contractor shall clean construction debris from the dwelling and site to a dumpster or legal landfill at least once each week, and leave the property in broom clean condition. In occupied dwellings, debris shall be removed from living quarters daily.</li><li>* When work is complete remove from site all construction materials, tools and debris. Sweep clean all exterior work areas. Vacuum all interior work areas, removing all visible dust, stains, labels and tags. Clean all windows referenced in specifications.</li><li>* Contractors often use exterior hose bibs to provide water for mixing mud, cleaning up, etc. Repeated use <i>may</i> result in damage to the hose bib. Be aware that staff will check hose bibs on a home to determine if they are in proper working order before a final invoice is issued for work on the home.</li><li>* Homes with doorbells and security systems have been checked for their proper operation- ensure all work once the Work Write-Up specifications have been completed on the home.</li><li>* All appliances: water heater, stove, refrigerator, and HVAC unit(s) have been checked for their proper operation- ensure all work once the Work Write-Up specifications have been completed on the home.</li></ul>	<b>Not a Bid Item</b>

<u>Location</u>		<u>Item</u>	<u>Specification</u>	<u>Material Cost</u>	<u>Labor Cost</u>	<u>Total Price</u>
<b>INTERIOR</b>		<b>BATHROOM</b>	5' wide x 8' long x 8' tall. Copper, PVC and cast iron lines.			
1.	<b>INTERIOR</b>	Demo  Prep	Remove toilet and save for reuse. Remove tub, tub wall surround, window trim, vanity, vanity top and discard. Cut back wall coverings along "B, C & D" walls to allow for installation of shower unit. Remove remaining wallpaper on walls and door. Paint glass on bathroom window black with two coats of black flat paint. Install double 2x4 studs on "B&D" walls for shower flange/drywall nailing purposes. Layer floor area under tub (approximately 15sf) with ¾" OSB or equivalent.			
2.	<b>INTERIOR</b>	Insulation	Insulate bathroom floor area with R-19 faced batt insulation. Insulate inside of window opening.			
3.	<b>INTERIOR</b>	ADA Shower  Accessories  Pedestal Sink  Supply/DWV  Toilet	Install an Aquatic® sectional shower stall item #6030CS - HOME Depot (or a CD Staff pre-approved equal). Shower shall include Aging in Place backer plywood for grab bar and slide bar mounting purposes. Include a 2' stainless steel grab bar mounted vertically on left wall inside of shower, a Delta® Classic Chrome single lever faucet, a Delta® hand held shower head with stainless braided line and mounting slide bar, (or CD Staff pre-approved equals) and a stainless steel shower curtain rod. Install a premium weighted shower curtain. Install a homeowner supplied pedestal sink and faucet along "D" wall; complete with drain assembly. Install water supply and DWV lines to shower and sink connecting to existing drain lines running into septic tank. Reinstall toilet.			
4.	<b>INTERIOR</b>	Drywall  Paint	Install ½" water board on all wall areas around tub flanges. Tape, bed, and skim all joints and point-up all bathroom walls and ceiling. Sand walls and ceiling ready for paint. Paint all drywall walls; wallboard, ceiling and trim w/ one coat of low/no VOC oil base primer and two coats of finish paint. Ceiling receives flat ceiling white. Walls receive satin finish. All trim will receive semi-gloss (owners choice of colors).			
5.	<b>INTERIOR</b>	Trim	Finish installation of 1x4 white pine baseboard where removed for construction. Install ¾" shoe moulding around perimeter of walls and in front of shower unit.			
6.	<b>INTERIOR</b>	Flooring Floor Patch  Sheet Vinyl	Install ¾" lauan plywood approved for sheet vinyl over entire bathroom floor area. Patch floor with a cement base product (Ardex or CD Staff pre-approved equal) to create smooth finish in preparation of acceptance of sheet vinyl. Install total glue down sheet vinyl flooring product over entire bathroom floor area (owner's choice of color and pattern).			

7.	<b>INTERIOR</b>	<p>Electrical Service</p> <p>GFCI Bath Fan</p>	<p>Install a 150 Amp panel box with circuit breakers and a meter base. Place panel box onto "D" wall of kitchen removing 100 Amp fuse panel box and connecting existing circuitry to meter base with appropriate sized wiring through to mast. Install complete mast.</p> <p>Make bathroom receptacle a GFCI unit on a dedicated circuit.</p> <p>Install a Whispergreen™ bathroom fan with light - Panasonic FV-08VQL6 Ventilation Fan/Light Combination 80 CFM (or a CD Staff pre-approved equal). Complete installation attaching duct work to terminate outside of building envelope using appropriate vent hood. Disconnect light fixture and wire bath fan to new switch.</p>			
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**Material Cost Total:** \_\_\_\_\_ **Labor Cost Total:** \_\_\_\_\_ **Grand Total:** \_\_\_\_\_

Respectfully submitted by:

Contractor Name (PRINT): \_\_\_\_\_

Tax ID Number: \_\_\_\_\_

Signature: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Date: \_\_\_\_\_

# 6030CS – A<sup>2</sup> COMPOSITE SHOWER

60 x 30 x 76 inches

## A<sup>2</sup> COMPOSITE

Lightweight and durable, our A<sup>2</sup> Composite is an engineered compound of resin, glass and special fillers formed into sheets. These sheets are then placed under high pressure and heat to liquify the compound, allowing it to flow and take the shape of almost any form imaginable. The results are simple, stylish and a snap to install.



## FEATURES

- Durable high gloss finish
- Smooth wall, 4 piece molded sectionals
- Pre-Leveled base
- Caulkless Installation
- Leakproof right angle joint flanges
- Easy Wedge & Lock Installation
- Multiple integral soap shelves
- Left or right drain
- Slip resistant, textured bottom
- Available with Age-in-Place backing
- Available in White and Biscuit
- 15-year residential limited warranty

## AQUATIC ADVANTAGE

- National distribution
- 6 manufacturing facilities
- Private fleet
- Centralized customer service
- Field support



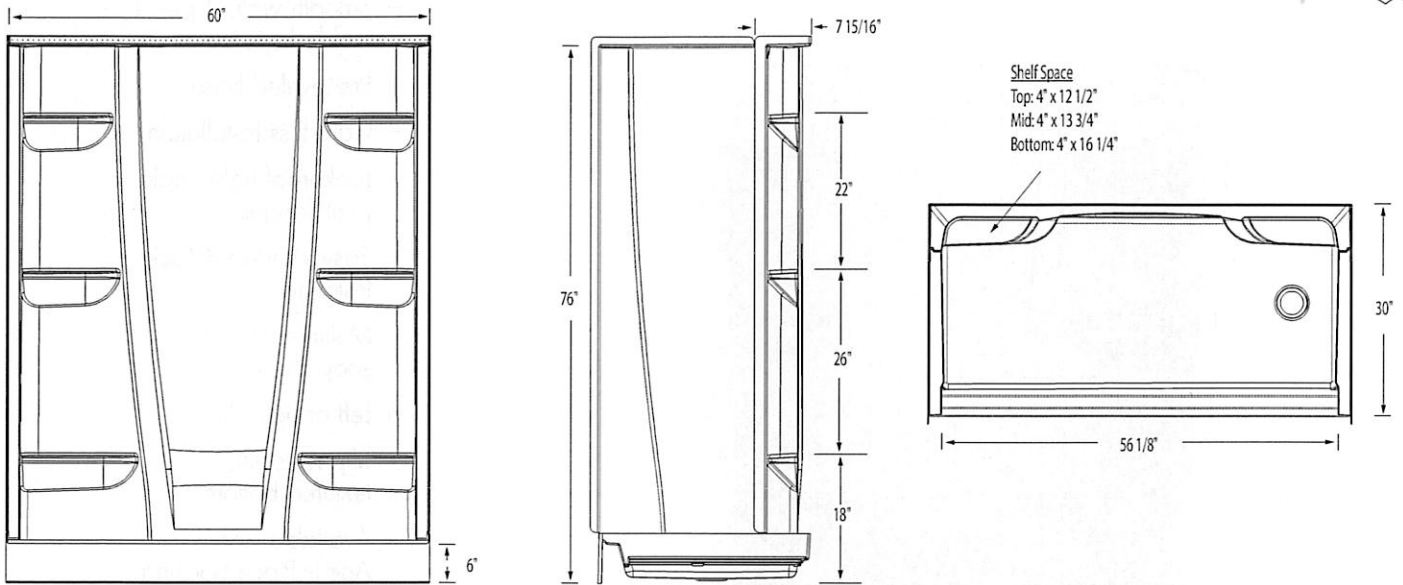
**AQUATIC**

The bath people



# 6030CS

60 x 30 x 76 inches



## FEATURES

lbs Dimensional Tolerance  $\pm \frac{3}{16}$ ". Dimensions needed for site preparation should be measured from the unit. Aquatic assumes no responsibility for preparatory work.

Model #	Material	Wall Finish	Pieces	Drain	Seat	Net Wt.	Pkg. Wt.
Shower #6030CS	Composite	Smooth	4	LH or RH	-	136	151

## DIMENSIONS

Specifications	inches
Width: Overall / Net	60
Depth: Overall / Net	31 1/4 / 30
Height: Overall / Net	77 3/8 / 76
Enclosure Opening	56 1/8
Skirt Height	6
Drain Rough-In (from Back Wall)	14
Drain Rough-In (from Side Wall)	8 1/2
Drain: Diameter / Clearance	3 1/4 / $\emptyset$

## FRAMING DIMENSIONS

Type	D Depth	W Width	H Height	A	B	C
Alcove	31 1/4	60	-	Box Out	8 1/2	14

