

Address:

Grant: URP18 Home 15

Preparer: Carlis P. Sweat

<b>TOWN OF SOUTHERN PINES PERMITTING REQUIREMENTS</b>	Visit the Town of Southern Pines Planning Department at 180 SW Broad St., Southern Pines, NC 28387 to obtain permits for the work performed on this home. The following permits are required: -Electrical-Plumbing- Please contact the Town of Southern Pines Permitting office (910-692-4003) directly for permits & permit costs.	<b>Not a Bid Item</b>
<b>LEAD BASE PAINT</b>	This is a pre-1978 built home. Safe Work Practices (SWP) and Renovate, Repair, and Paint (RR&P) techniques must be used when performing work on this home.	<b>Not a Bid Item</b>
<b>REQUIREMENTS FOR ALL WORK WRITEUPS</b>	<ul style="list-style-type: none"><li>* Work on any item specified in this write-up is to be performed to code and will be inspected &amp; approved as such. This is to apply in all instances and regardless of whether the specification states to perform work "to code." When a contractor or subcontractors are uncertain as to code requirements or where it appears the specification contradicts code the Community Development Staff <u>shall</u> be contacted before work is performed.</li><li>* All materials used in connection with this Work Write-Up are to be new, of first quality and without defects - unless stated otherwise in the Work Write-Up or pre-approved by Community Development Staff.</li><li>* Comparable substitutes for items specified in this Work Write-Up may be used provided the homeowner, contractor, and Community Development Staff are in agreement and this agreement is reduced to writing and signed by all three parties.</li><li>* Any changes in the Work Write-Up shall be pre-approved by the homeowner, contractor, and Community Development Staff and once all parties are in agreement then this agreement shall be reduced to writing and signed by all three parties.</li><li>* Contractor is to allow the homeowner a minimum of three choices of color or style for all material selections specified to be replaced in the Work Write-Up.</li><li>* Warranties for work performed and all material items installed on a home (e.g. roofing, vinyl siding, heat pump, appliances, termite inspection, etc.) will be provided to Community Development Staff prior to final payment being made for work performed under this contract.</li><li>* At the preconstruction meeting, Contractors will be provided with a Release of Liens that will need to be signed by all subcontractors prior to final payment is made for work performed under this contract.</li><li>* Contractors and their Subcontractors shall schedule working hours between 8:00am and 6:00pm Monday through Friday. Requests to work on weekends and before or after these hours must be approved by the homeowner. The Contractor is responsible for informing Community Development Staff of such arrangements with the homeowner within 24 hours of said arrangements being made.</li><li>* The contractor shall clean construction debris from the dwelling and site to a dumpster or legal landfill at least once each week, and leave the property in broom clean condition. In occupied dwellings, debris shall be removed from living quarters daily.</li><li>* When work is complete remove from site all construction materials, tools and debris. Sweep clean all exterior work areas. Vacuum all interior work areas, removing all visible dust, stains, labels and tags. Clean all windows referenced in specifications.</li><li>* Contractors often use exterior hose bibs to provide water for mixing mud, cleaning up, etc. Repeated use <i>may</i> result in damage to the hose bib. Be aware that staff will check hose bibs on a home to determine if they are in proper working order before a final invoice is issued for work on the home.</li><li>* Homes with doorbells and security systems have been checked for their proper operation- ensure all work once the Work Write-Up specifications have been completed on the home.</li><li>* All appliances: water heater, stove, refrigerator, and HVAC unit(s) have been checked for their proper operation- ensure all work once the Work Write-Up specifications have been completed on the home.</li></ul>	<b>Not a Bid Item</b>

<u>Location</u>		<u>Item</u>	<u>Specification</u>	<u>Material Cost</u>	<u>Labor Cost</u>	<u>Total Price</u>
<b>EXTERIOR/INTERIOR</b>						
1.	<b>INTERIOR EXTERIOR</b>	Water Heater  P-Traps  Supply	Replace flexible vent piping from water heater to chimney with code compliant hard pipe. Sit water heater in an aluminum pan. Install overflow pipe to pressure relief valve and extend pipe to exit foundation wall. Install p-traps on kitchen and bathroom sinks under cabinets and re-plumb drain line connections to main 4" cast iron pipe. Install p-trap and drain line from bathtub connecting to 4" cast iron drain line. Repair leaking supply line under house from kitchen connection.			
2.	<b>INTERIOR EXTERIOR</b>	Electrical Outlets          Lights       Smoke/CO Detectors	Install a GFCI circuit breaker in panel box and complete interconnecting wiring to three (3) outlets, one (1) each at: kitchen countertop ("C" wall), left of bathroom sink ("C" wall) and exterior ("B" wall) on right side of foundation wall at crawlspace entry point. Make kitchen outlet first along path. Install wiring and 4-way gang box on wall behind T.V. in dining room ("B" wall) and create an additional 4-way plug in master bedroom on ("B" wall). Re-wire existing outlet in living room on "C wall" and create additional outlet in dining room on same wall ("A" wall). Wire and install 110 volt receptacle under window air conditioner in dining room on "D" wall. Wire and install receptacle in front bedroom on "A" wall. Wire and install 220 receptacle for stove connection. Run wiring, boxes and switches for a total of six (6) light fixtures in bedrooms, bathroom, kitchen, living room and dining room. Make switch box in dining room a double for ceiling fan and separate light operation. Rehang ceiling fan in dining room. Supply and install two (2) bedroom light fixtures and three (3) flush mount light fixtures (living room, bathroom and kitchen (item # 1480092 Model # 5326EN3-782 LOWES or CD Staff pre-approved equal). All light fixtures will be Energy Star labeled and approved. Install a circuit breaker in panel box and complete interconnecting wiring and boxes for four hardwired (4) smoke detectors. Install a smoke detector inside of each sleeping room and in the living room outside of bedroom entry door. Install a combo smoke/CO detector in kitchen outside of bedroom entry door.			

**Material Cost Total:** \_\_\_\_\_ **Labor Cost Total:** \_\_\_\_\_ **Grand Total:** \_\_\_\_\_

Respectfully submitted by:

Contractor Name (PRINT): \_\_\_\_\_

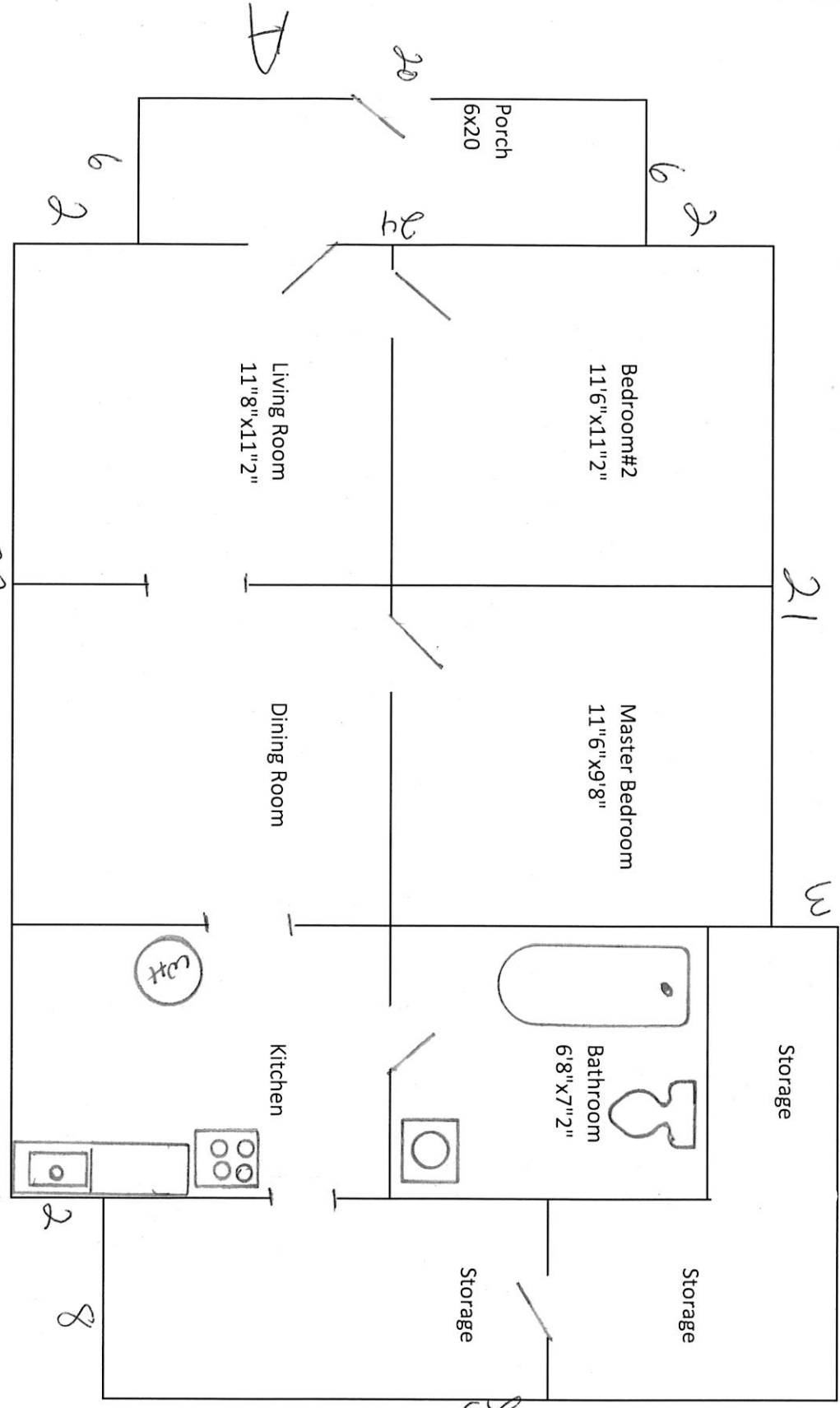
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Date: \_\_\_\_\_

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32 Not to Scale  
For Estimating Purposes Only

